



SURVEYOR'S OFFICE Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

January 24, 2022

Re: Williams Creek, Jackson's Grant Section 8 Arm

Attached is a petition filed by Jackson's Grant Real Estate Co. LLC, along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for Jackson's Grant Section 8 Arm, Williams Creek Drain to be located in Carmel, IN. I have reviewed the submittals and petition and have found each to be in proper form.

Upon reviewing these plans, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

12" RCP	296 ft.	24" RCP	96 ft.
15" RCP	346 ft.	18" RCP	416 ft.
21" RCP	255 ft.	SSD	547 ft.

The total length of the drain will be 1,956 feet.

The subsurface drains (SSD) to be part of the regulated drain are those main lines located in rear yards and common areas. The SSD's in the street will not be part of the regulated drain due to street trees and the Hamilton County Drainage Board discussion on July 9, 2018, (see Hamilton County Drainage Board Minute Book 18, pages 204 to 206). The street SSD will be the maintenance responsibility of the City of Carmel. Only the main SSD lines which are located within the platted easement are to be maintained as regulated drain. Laterals for individual lots will not be considered part the of the regulated drain. The portion of the SSD which will be regulated are as follows:

Yard SSDs

Rear yard lots 334 to 339 from 79 feet east of Str. G4 to 150 feet West of Str. G5.

Common Area SSDs

Common Area #8-2 from Str. B1 to Str. A2.

The drain maintenance shall include the inlets, outlets, sub-surface drains and reinforced concrete pipes that are listed as part of the new regulated drain. The maintenance of the detention pond such as, erosion control or mowing and the maintenance of water quality BMP structures will be the responsibility of the Jackson's Grant HOA or the city of Carmel. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained. Thereby, allowing no fill or easement encroachments.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot to be assessed equally. I also believe that no damages will result to landowners by the constructor of this drain. I recommend a maintenance assessment of \$65.00 per lot, \$10.00 per acre for common areas, with \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain will be \$2,015.00.

The petitioner has provided the Performance Bonds as follows:

Monumentation

Bonding Company: Standard Financial Corporation
Bond Number: 1455JG8
Bond Date: January 10, 2022
Bond Amount: \$5,040.00


Storm Sewer

Bonding Company: Standard Financial Corporation
Bond Number: 1454JG8
Bond Date: January 10, 2022
Bond Amount: \$325,009.20

I believe this proposed drain meets the requirements for urban drain classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designed as an urban drain.

I recommend that upon approval of the above proposed drain that the board also approve the attached non-enforcement requests for Jackson's Grant Section 8. The request will be for the reduction of the regulated drain easements to those easement widths as shown on the secondary plat for Jackson's Grant Section 8.

I recommend the Board set a hearing for this proposed drain for May 23, 2022.



Kenton C. Ward, CFM
Hamilton County Surveyor

KCW/pll

FEB - 9 2022

OFFICE OF HAMILTON COUNTY SURVEYOR

(Revised 06/08/04)

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

In the matter of Jackson's Grant on Williams Creek, Section 8 Subdivision, Section
Williams Creek Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in Jackson's Grant on Williams Creek, S8, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED

JACKSON'S GRANT REAL ESTATE Co. LLC

Douglas B Wagner
Signed

Signed

Douglas B. Wagner, Senior VP

Printed Name

Printed Name

1/26/2022

Date

Date

Signed

Signed

Printed Name

Printed Name

Date

Date

FINDINGS AND ORDER

CONCERNING THE MAINTENANCE OF THE

Williams Creek Drain, Jackson's Grant Section 8 Arm

On this **23rd day of May, 2022**, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the **Williams Creek Drain, Jackson's Grant Section 8 Arm**.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.


HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest: 
Executive Secretary

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Williams Creek Drain, Jackson's Grant Section 8 Arm

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Williams Creek Drain, Jackson's Grant Section 8 Arm** on **May 23, 2022** at **9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

Williams Creek Drain, Jackson's Grant Section 8

NOTICE

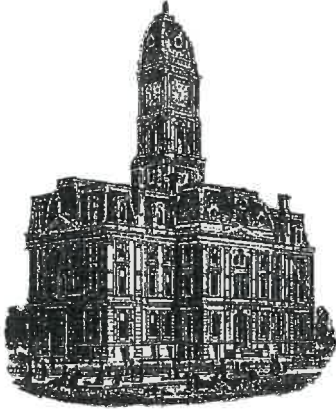
Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **May 23, 2022** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

KW



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

April 18, 2023

Re: Williams Creek D.A. - Jackson's Grant Sec. 8 Arm

Attached are as-built, certificate of completion & compliance, and other information for Jackson's Grant Sec. 8 Arm. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated January 24, 2022. The report was approved by the Board at the hearing held May 23, 2022. (See Drainage Board Minutes Book 20, Pages 416-417) The changes are as follows: the 12" RCP was lengthened from 296 feet to 315 feet. The 15" RCP was lengthened from 346 feet to 353 feet. The 18" RCP was lengthened from 416 feet to 419 feet. The 21" RCP was shortened from 255 feet to 254 feet. The 24" RCP was shortened from 96 feet to 94 feet. The 6" SSD was lengthened from 547 feet to 548 feet. The length of the drain due to the changes described above is now **1,983 feet**.


The non-enforcement was approved by the Board at its meeting on May 23, 2022, recorded under instrument #2023013071.

The following sureties were guaranteed by Standard Financial Corporation and released by the Board on its April 10, 2023, meeting.

Bond-LC No: PB11328100044
Amount: \$215,120.04
For: Storm Sewers & SSD
Issue Date: June 24, 2014

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Jackson's Grant on Williams Creek, Section 8

I hereby certify that:

- 1. I am a Professional Land Surveyor in the State of Indiana.
- 2. I am familiar with the plans and specifications for the above referenced subdivision.
- 3. I have personally supervised the completion of the drainage facilities as-builts for the above referenced subdivision and have given the as-builts my review.
- 4. The drainage facilities within the above referenced subdivision, to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.

Signature:  Date: 1/17/2023

Type or Print Name: Dennis D. Olmstead

Business Address: Stooppelwerth & Associates, Inc.
7965 East 106th Street, Fishers, Indiana 46038

Telephone Number: (317) 849-5935

SEAL

INDIANA REGISTRATION NUMBER

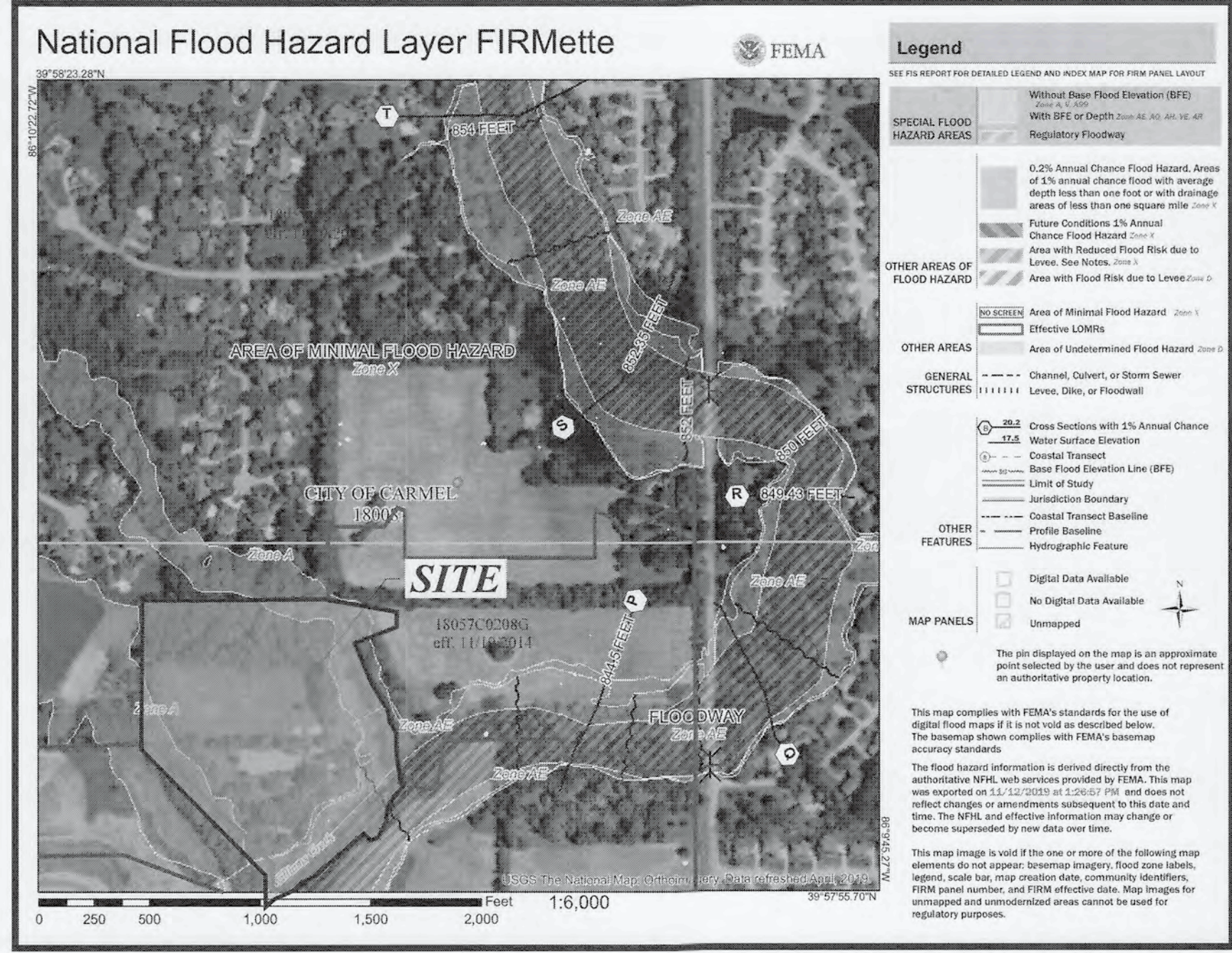
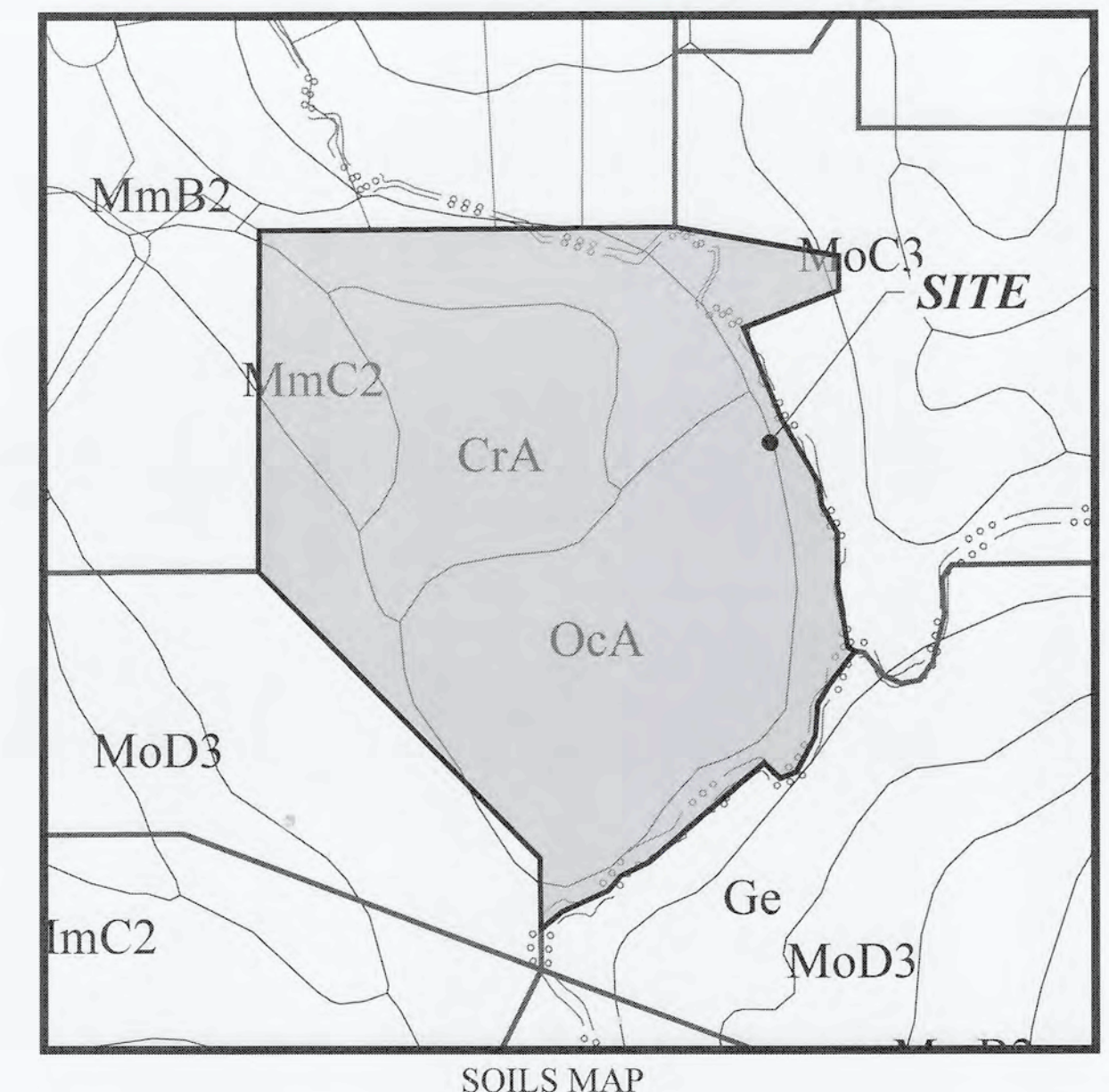
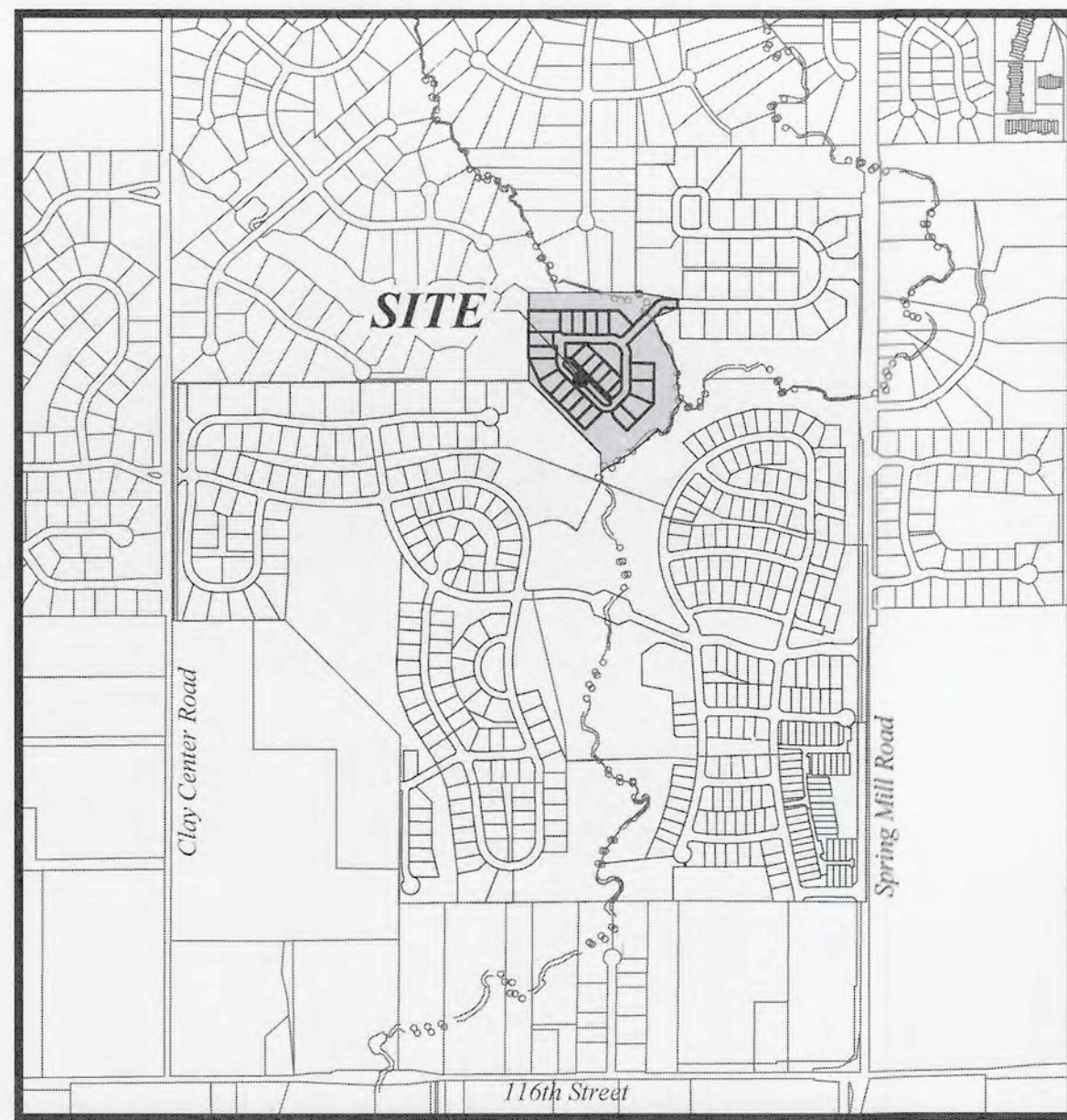
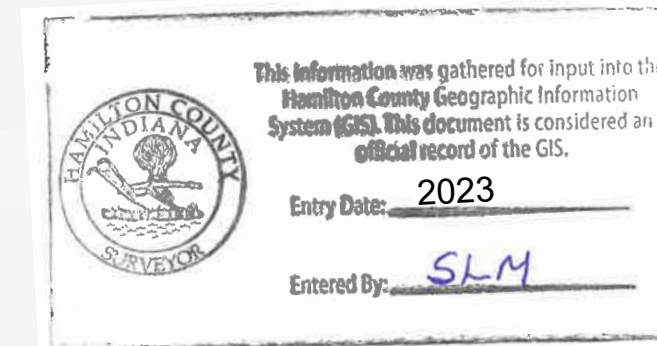
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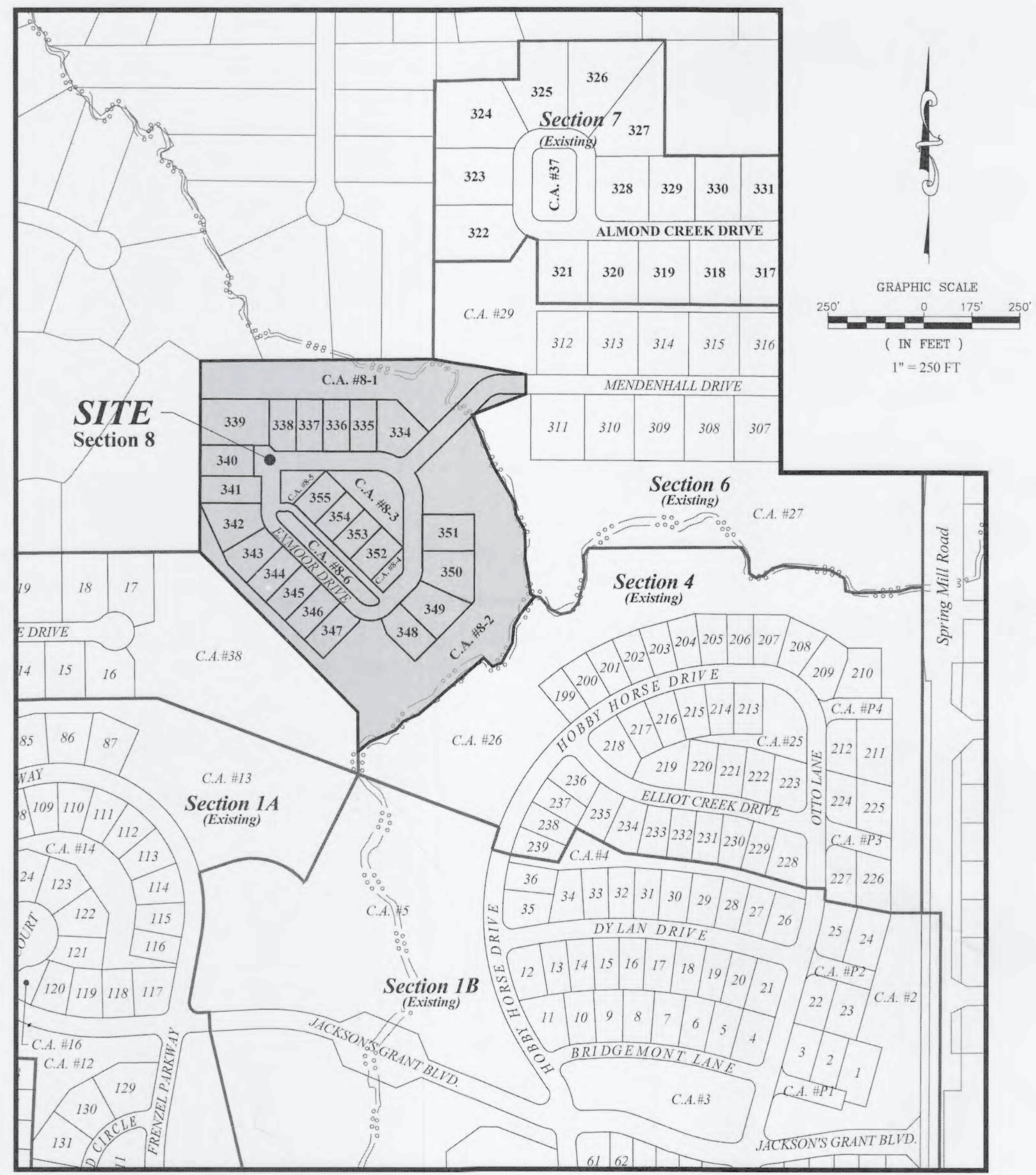
JACKSON'S GRANT on WILLIAMS CREEK Section 8

Developed by:
Jackson's Grant Real Estate Co., LLC
13578 East 131st Street, Suite 200
Fishers, Indiana 46037

Contact: **Doug Wagner**
Senior Vice President
Phone: (317) 770-7011
Fax: (317) 770-1819
Email: dwagner@republicdev.com



ALL SECTION 8 LOTS 215 - 236 FALL WITHIN THE BRIDGECREEK, EXMOOR PLANNING AREA.
ALL PAVING WITHIN THE EXISTING AND PROPOSED CITY RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF ENGINEERING. THE CONTRACTOR SHALL CONTACT THE DEPARTMENT OF ENGINEERING TO SCHEDULE A PRE-CONSTRUCTION MEETING TO REVIEW THE DEPARTMENT'S CONSTRUCTION REQUIREMENTS, STAFF NOTIFICATION REQUIREMENTS, REQUIRED INSPECTIONS FOR CERTAIN STAGES OF THE WORK AND TO REVIEW THE AUTHORITY OF THE DEPARTMENT AS IT RELATES TO WORK WITHIN THE EXISTING AND PROPOSED RIGHT-OF-WAY.



FLOOD STATEMENT
THIS IS TO CERTIFY THAT NO GRADED PORTION OF THE SUBJECT PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE "A" AS SAID TRACT PLOTS BY SCALE ON COMMUNITY PANELS 18057C0206G & 18057C0208G OF THE FLOOD INSURANCE RATE MAPS DATED NOVEMBER 19, 2014.

SHT. NO.	DESCRIPTION
C001	COVER SHEET
C100	TOPOGRAPHICAL SURVEY/DEMO PLAN
C200 - C201	SITE DEVELOPMENT PLAN EMERGENCY FLOOD ROUTE PLAN
C300 - C305	INITIAL STORM WATER POLLUTION & PREVENTION PLAN TEMPORARY STORM WATER POLLUTION & PREVENTION PLAN PERMANENT SEDIMENT & EROSION CONTROL PLAN STORM WATER POLLUTION & PREVENTION SPECIFICATIONS STORM WATER POLLUTION & PREVENTION DETAILS
C400 - C404	STREET PLAN & PROFILES INTERSECTION DETAIL STREET SIGN PLAN CONCRETE CURB POLICY
C500	SANITARY PLAN & PROFILES
C600 - C601	STORM PLAN & PROFILES SUB-SURFACE DRAIN PLAN
C700	WATER PLAN & PROFILES
C800 - C804	CONSTRUCTION SPECIFICATIONS & DETAILS
C805-C806	COMPENSATORY STORAGE EXHIBITS
C900-C905	LANDSCAPE PLAN
D001	COVER SHEET - BRIDGE & PATH PLANS (SEE INDEX ON D001)

Planning Area	Minimum Lot		Minimum Yard Setbacks		Min. Dwelling Unit Size (sf)		Max. Lot Coverage		
	Width	Area (sq)	Street Frontage	Front	Side (Aggregate)	Rear			
Northvale (formerly known as Bridgeway)	55'	6,600	30'	25'	5' (10')	20'	1,600	2,000	50%
Exmoor	65'	7,750	35'	25'	5' (10')	20'	1,600	2,000	50%

DESIGN DATA - NORTHVALE & EXMOOR	DESIGN SPEED LIMIT	UTILITY CONTACTS
SECTION 6	25 M.P.H.	Clay Township Regional Waste District 10701 College Avenue Indianapolis, Indiana 46280
SECTION 7	LOTS	Carmel Water Utilities 3450 West 5318 Street Westfield, Indiana 46074
SECTION 8	ACREAGE	AT&T 240 North Meridian Street 2nd Floor, Room 280 Indianapolis, Indiana 46220
TOTALS	51 LOTS	46,795 AC. ±
AREA DENSITY	1.09 LOTS/ACRE	Spectrum 3030 Roosevelt Avenue Indianapolis, Indiana 46220
MENDENHALL DRIVE	413.47 L.F.	Indianapolis Power & Light Company 3600 North Arlington Avenue Indianapolis, Indiana 46218
EXMOOR DRIVE	1,273.56 L.F.	TrCo Regional Sewer Utility 10701 North College Avenue, Suite A Indianapolis, IN 46280
ALLEY	403.60 L.F.	Vectren Energy 16000 Allisonville Road Noblesville, Indiana 46060
TOTAL	2,090.62 L.F.	
ZONING	SILVARA PUD	
TOTAL SITE DISTURBANCE	9.34 AC. ±	
OPERATING AUTHORITY	CITY OF CARMEL ONE CIVIC SQUARE CARMEL, INDIANA 46032 (317) 571-2441	

RECORD DRAWING

D.D.O.
Dennis D. Olmstead
Professional Land Surveyor
No. 900012
1/17/2023



JACKSON'S GRANT ON WILLIAMS CREEK, SECTION 8
A subdivision of part of the Northwest Quarter of Section 24, Township 18 North, Range 03 East, Clay Township, Hamilton County, Indiana more particularly described as follows:
Beginning at the Northeast corner of Jackson's Grant on Williams Creek, Section 2, per plat thereof recorded as Instrument Number 201803285 in Plat Cabinet 5, Slide 866 in the Office of the Hamilton County Recorder, said point also being the Southeast corner of Claybridge at Springmill recorded as Instrument number 89-27503 in Plat Cabinet 1, Slide 72 in said Recorder's Office; thence North 00 degrees 17 minutes 00 seconds East, along the East line of said Claybridge, a distance of 494.50 feet; thence North 89 degrees 30 minutes 51 seconds East, along a South line of said Claybridge and the East line of said Springmill Streams recorded as Instrument Number 84-8961 in Plat Book 11, Pages 32-54 in said Recorder's Office a distance of 407.00 feet to the Southeast corner of said Claybridge; thence South 80 degrees 03 minutes 42 seconds East a distance of 241.11 feet; thence South 00 degrees 17 minutes 20 seconds West a distance of 50.00 feet; thence South 69 degrees 00 minutes 23 seconds West a distance of 149.78 feet; thence South 08 degrees 51 minutes 53 seconds East a distance of 33.87 feet; (1) thence South 05 degrees 30 minutes 39 seconds West a distance of 46.41 feet; (4) thence South 27 degrees 48 minutes 20 seconds West a distance of 58.52 feet; (5) thence South 08 degrees 26 minutes 48 seconds West a distance of 25.76 feet; (6) thence North 45 degrees 43 minutes 00 seconds West a distance of 44.43 feet; thence South 09 degrees 40 minutes 16 seconds East a distance of 59.59 feet; (7) thence South 30 degrees 03 minutes 49 seconds East a distance of 91.86 feet; thence South 57 degrees 17 minutes 07 seconds East a distance of 12.26 feet to a northerly corner of Jackson's Grant on Williams Creek; Section 4 recorded as Instrument 2018009549 in Plat Cabinet 5, Slide 810 in said Recorder's Office; thence along the lines of said plat the following 11 courses and distances: (1) South 38 degrees 23 minutes 51 seconds West a distance of 29.11 feet; thence South 30 degrees 03 minutes 49 seconds West a distance of 33.87 feet; (2) thence South 05 degrees 30 minutes 39 seconds West a distance of 46.41 feet; (4) thence South 27 degrees 48 minutes 20 seconds West a distance of 58.52 feet; (5) thence South 08 degrees 26 minutes 48 seconds West a distance of 25.76 feet; (6) thence North 45 degrees 43 minutes 00 seconds West a distance of 44.43 feet; (7) thence South 09 degrees 40 minutes 16 seconds East a distance of 59.59 feet; (8) thence South 64 degrees 33 minutes 51 seconds West a distance of 45.43 feet; (9) thence South 49 degrees 27 minutes 38 seconds West a distance of 28.90 feet; (10) thence South 65 degrees 58 minutes 09 seconds West a distance of 73.81 feet; (11) thence South 50 degrees 41 minutes 01 seconds West a distance of 39.88 feet to the East line of the aforementioned Section 2; thence North 00 degrees 28 minutes 13 seconds West, along said East line a distance of 102.62 feet; thence North 44 degrees 42 minutes 34 seconds West, along a northeasterly line of said Section 2, a distance of 585.38 feet to the Point of Beginning, Containing 14,662 acres, more or less.

PLANS PREPARED BY:
STOEPPELWERTH & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
7965 E. 106th STREET, FISHERS, INDIANA 46038
PHONE: (317) 849-5935
FAX: (317) 849-5942
CONTACT: BRIAN K. ROBINSON
EMAIL: brobinson@stoepfelwerth.com

PLANS CERTIFIED BY:
David J. Stoepfelwerth 09/16/20
DAVID J. STOEPPELWERTH



SECTION 8
 Site Area = 14.622 ac.
 Is the primary water quality treatment for the development as planned in the Master Plan - YES
 If NO, provide the following information per BMP (Only for BMP's with vegetative swale req.):
 *Length of vegetated swale treatment (from discharge point to outlet pipe) - N/A
 *Minimum length of vegetated swale treatment as required by the Master Plan - N/A
 Is the primary water quantity treatment for the development as planned in the Master Plan - YES
 If YES, provide the following information:
 Total Master Plan contributing watershed = 7.40 Ac.
 Total Watershed Currently Built (or Approved) contributing to this system = 0 Ac.
 Total watershed from Section 6 contributing to the system = 8.05 Ac.
 Total watershed available in the system post-project = XX.XX Ac.
 Is the entire BMP treatment train to an outlet pipe being constructed with this section - YES
 If NO, provide the following information:
 *Master Plan BMP(s) downstream of this sections discharge location (list each)
 *BMP(s) downstream that have been previously constructed (list each)
 Detention Basins BMP's Constructed with this section. (See BMP pond data table - this sheet) - N/A
 Also, reference Post-Construction Stormwater Master Plan prepared by Williams Creek Consulting.

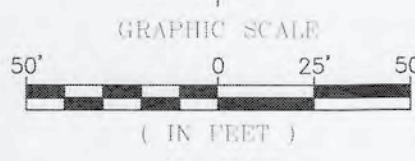
DRAINAGE SUMMARY OVERALL
 Site Area = 14.622 ac.
 Off-site / Upstream Area = 6.80 ac.
 Allowable Release Rate:
 10yr = 138.03 c.f.s. 100yr = 328.58 c.f.s.
 Post Developed Release Rate:
 10 yr = 129.25 c.f.s. 100 yr = 310.38 c.f.s.



RECORD DRAWING



Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012
 (117) 720-23



EARTHWORK NOTES
 1. EXCAVATION
 A. EXCAVATED MATERIAL THAT IS SUITABLE MAY BE USED FOR FILL. ALL UNSUITABLE MATERIAL AND ALL EXCESS EXCAVATED MATERIAL NOT REQUIRED SHALL BE REMOVED FROM THE SITE.
 B. PROTECT ALL EXISTING UTILITIES FROM DAMAGE. IF ANY UTILITIES ARE LOCATED WITHIN THE EXCAVATION AREA, THEY SHALL BE PROTECTED BY A CONCRETE CURB OR STRUCTURE. ALL EXISTING UTILITIES SHALL BE PROTECTED BY A CONCRETE CURB OR STRUCTURE. ALL EXISTING UTILITIES SHALL BE PROTECTED BY A CONCRETE CURB OR STRUCTURE.
 2. REMOVAL OF FILL AND STUMPS SHALL BE REMOVED FROM AREAS TO BE OCCUPIED BY A ROAD OR STRUCTURE OR OTHER USE.
 3. PROTECTIVE DRAINAGE
 A. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 B. THE EXISTING CURB OR FILL LOCATIONS 5 FEET OVER THE FOOT AREA. THE DEVELOPER SHALL BE RESPONSIBLE FOR PROTECTIVE MEASURES TO BE TAKEN IF ANY, TO PREVENT ROAD DAMAGE.
 4. REMOVAL OF TOPSOIL
 A. ALL TOPSOIL SHALL BE REMOVED FROM ALL AREAS BEING EXCAVATED FOR THE CONSTRUCTION OF BUILDINGS, TOWNSHIP, REMOVAL SHALL BE TO A MINIMUM DEPTH OF 6 INCHES OR TO THE DEPTH INDICATED BY THE GEOTECHNICAL REPORT PROVIDED BY THE DEVELOPER TO BE EXCAVATED ON BELIEVED TOPSOIL. SHOULD BE STORED AT A LOCATION WHERE IT WILL NOT INTERFERE WITH CONSTRUCTION OPERATIONS. THE TOPSOIL SHALL BE FREE OF DEBRIS AND STONES.
 5. UTILITIES
 A. THE LOCATION AND DEPTH OF ALL UTILITIES SHALL BE OBSERVED AND RECORDED IN THE EXISTING UTILITIES REPORT PROVIDED BY THE DEVELOPER TO BE EXCAVATED ON BELIEVED TOPSOIL. SHOULD BE STORED AT A LOCATION WHERE IT WILL NOT INTERFERE WITH CONSTRUCTION OPERATIONS. THE TOPSOIL SHALL BE FREE OF DEBRIS AND STONES.
 B. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 C. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 D. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 E. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 F. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 G. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 H. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 I. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 J. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 K. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 L. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 M. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 N. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 O. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 P. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 Q. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 R. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 S. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 T. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 U. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 V. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 W. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 X. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 Y. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.
 Z. THE CONTRACTOR SHALL, AT THE DISCRETION OF THE INSPECTOR, INSTALL AND MAINTAIN PROTECTIVE DRAINAGE TO PREVENT WATER FROM ENTERING THE EXCAVATION AREA.

STR.#	TYPE	T.C.	CASTING TYPE	DIA. IN	DIR. IN	INV. IN	DIA. OUT	DIR. OUT	INV. OUT	SLOPE
A1	END SECTION	839.29		12	NW	838.04				
A2	OUTLET CONTROL	847.19	SEE DETAIL				12	SE	838.54	0.32%
B1	END SECTION	846.85		24	N	844.52				
B3	CURB INLET	851.43	EJ-7495-M2/M1	24	N	844.83	24	S	844.73	0.65%
B4	CURB INLET	853.39	EJ-5250	21	NE	845.39	21	S	845.29	0.23%
B5	YARD INLET	854.20	EJ-6489N	21	N	845.76	21	SW	845.66	0.26%
B6	MANHOLE	853.05	EJ-1076	18	N	846.39	18	S	846.03	0.24%
B7	MANHOLE	853.60	EJ-1076	18	NW	846.51	18	S	846.51	0.18%
B8	MANHOLE	855.51	EJ-1076	18	W	847.60	18	SE	847.51	1.59%
C1	CURB INLET	852.79	EJ-7495-M1	15	SW	846.91	15	SE	846.81	0.51%
C2	DBL. CURB INLET	852.85	(2) EJ-7495-M2/M1	15	NE	847.53	15	NE	847.10	0.63%
D1	CURB INLET	852.61	EJ-7495-M2	12	E	847.30	12	W	847.04	0.36%
D2	CURB INLET	852.57	EJ-7495-M1	12	W	847.45	12	W	847.45	0.50%
E1	MANHOLE	852.79	EJ-1076	15	NW	847.33	18	SW	847.23	0.38%
E2	CURB INLET	853.47	EJ-7495-M2	15	NW	847.69	15	SE	847.59	1.63%
E3	CURB INLET	853.42	EJ-7495-M1	15	NE	847.53	15	SE	847.78	0.30%
F1	END SECTION	849.05		15	NE	847.53				
F2	MANHOLE	852.29	EJ-1076	15	N	847.82	15	SW	847.75	0.41%
F3	CURB INLET	852.94	EJ-7495-M2	12	N	847.95	15	S	847.89	0.47%
F4	CURB INLET	852.93	EJ-7495-M1	12	S	848.06	12	S	848.06	0.37%
G1	MANHOLE	857.46	EJ-1076	18	N	847.71	18	E	847.71	1.14%
G2	CURB INLET	857.14	EJ-7495-M2	18	N	847.96	18	S	847.85	0.08%
G3	CURB INLET	857.21	EJ-7495-M1	15	N	848.07	18	S	848.02	0.20%
G4	YARD INLET	857.33	EJ-6489N	12	W	848.73	15	S	848.53	0.33%
G5	YARD INLET	859.68	EJ-6489N	12	E	849.38	12	E	849.38	0.86%
H1	NYLOPLAST INLET	854.95	R-4342	6	SE	851.75	6	SE	851.75	2.26%
H2	NYLOPLAST INLET	853.80	R-4342	6	NW	850.75	6	SW	850.75	0.97%
I1	NYLOPLAST INLET	855.19	R-4342	6	NE	851.04	6	SE	851.04	1.68%
I2	NYLOPLAST INLET	854.58	R-4342	6	NW	850.34	6	SE	850.34	2.95%

NAME	SIZE	LENGTH	SLOPE	MATERIAL	UPSTREAM STR.#	DOWNSTREAM STR.#
A1-A2	12"	157.18'	0.32%	R.C.P.	A2	A1
B1-B2	24"	32.41'	0.65%	R.C.P.	B2	B1
B2-B3	24"	61.51'	0.44%	R.C.P.	B3	B2
B3-B4	21"	39.28'	0.23%	R.C.P.	B4	B3
B3-C1	15"	69.57'	0.51%	R.C.P.	C1	B3
B4-B5	21"	103.46'	0.26%	R.C.P.	B5	B4
B5-B6	21"	111.81'	0.24%	R.C.P.	B6	B5
B6-B7	18"	69.23'	0.18%	R.C.P.	B7	B6
B6-D1	12"	21.73'	0.36%	R.C.P.	D1	B6
B7-B8	18"	62.96'	1.59%	R.C.P.	B8	B7
B8-G1	18"	83.35'	0.14%	R.C.P.	G1	B8
B8-G2	18"	12.62'	1.08%	R.C.P.	G2	G1
C1-C2	15"	29.86'	0.63%	R.C.P.	C2	C1
D1-D2	12"	29.79'	0.50%	R.C.P.	D2	D1
E1-B7	18"	161.41'	0.38%	R.C.P.	E1	B7
E2-E1	15"	15.64'	1.63%	R.C.P.	E2	E1
E3-E2	15"	29.87'	0.30%	R.C.P.	E3	E2
F1-F2	15"	53.70'	0.41%	R.C.P.	F2	F1
F2-F3	15"	15.45'	0.47%	R.C.P.	F3	F2
F3-F4	12"	29.84'	0.37%	R.C.P.	F4	F3
G2-G3	18"	29.93'	0.20%	R.C.P.	G3	G2
G3-G4	15"	138.52'	0.33%	R.C.P.	G4	G3
G5-G4	12"	76.22'	0.86%	R.C.P.	G5	G4
H1-H2	6"	44.26'	2.26%	HDPE	H1	H2
H2-H1	6"	42.24'	0.97%	HDPE	H2	H1
I1-I2	6"	41.79'	1.68%	HDPE	I1	I2
I2-B6	6"	58.78'	2.95%	HDPE	I2	B6

NOTES
 1. THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 2. CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE ARE NO CONFLICTS WITH OTHER UTILITIES. STORM SEWERS OR STREETS CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
 3. STORM WATER CONTROLS SHOWN ON THE INITIAL SWPPP (C30) SHOULD BE INSTALLED AS SOON AS PRACTICAL.
 4. IF IT WILL BE NECESSARY TO RELOCATE EXISTING UTILITIES, THE EXPENSE OF SUCH RELOCATION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. ALL UTILITY POLES SHALL BE LOCATED WITHIN ONE FOOT OF THE PROPOSED RIGHT-OF-WAY.
 5. ALL PIPS SHOULD BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.
 6. ANY PRIVATE TILES LOCATED ON THIS SITE WILL NEED TO BE LOCATED, REATHERS SET AT THE DOWNSTREAM PROPERTY LINE AND CROSSED OR REMOVED ACROSS THIS SITE, IF ANY OF THESE TILES EXTEND BEYOND THE LIMITS OF THIS PROJECT, THEY WILL NEED TO BE PROVIDED A POSITIVE OUTLET AND ALLOWED TO CONTINUE TO FUNCTION, AS IT IS ILLEGAL TO BLOCK OFF A PRIVATE "MILK" TIE.
 7. CONTRACTOR SHALL CONTACT THE DEPARTMENT OF ENGINEERING TO SCHEDULE A PRE-CONSTRUCTION MEETING TO REVIEW THE DEPARTMENT'S CONSTRUCTION REQUIREMENTS, STAFF NOTIFICATION REQUIREMENTS, REQUIRED INSPECTIONS FOR CERTAIN STAGES OF WORK TO REVIEW THE AUTHORITY OF THE DEPARTMENT AS IT RELATES TO WORK WITHIN THE EXISTING AND PROPOSED CITY ROW.
 8. EXISTING PAYMENT TO BE SAID OUT TO A CLEAN EDGE ADJACENT TO ANY WHENING, AUXILIARY LANES, ETC.
 9. NO EARTH DISTURBING ACTIVITY MAY TAKE PLACE WITHOUT AN APPROVED STORM WATER MANAGEMENT PERMIT.
 10. THERE IS TO BE NO DRIVEWAY ENCROACHMENTS INTO EASEMENTS BETWEEN LOTS.
 11. IF IT WILL BE NECESSARY TO RELOCATE EXISTING UTILITIES, THE EXPENSE OF SUCH RELOCATION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. ALL UTILITY POLES SHALL BE LOCATED WITHIN ONE FOOT OF THE PROPOSED RIGHT-OF-WAY.
 12. DAMAGE TO THE EXISTING RIGHT-OF-WAY SHALL BE RESTORED/REPAIRED TO THE SATISFACTION OF THE CITY AT THE COMPLETION OF THE PROJECT. THE CONTRACTOR IS ENCOURAGED TO INSPECT THE RIGHT-OF-WAY WITH THE CITY PRIOR TO THE START OF CONSTRUCTION TO DOCUMENT THE EXISTING CONDITION OF THE RIGHT-OF-WAY.
 13. ALL PAVING WITHIN THE EXISTING AND PROPOSED RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF ENGINEERING.
 14. UTILITY RELOCATIONS REQUIRED BY THE PROJECT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. UTILITY LINE RELOCATIONS REQUIRED FOR ROAD PRODUCTS THAT RESULT IN A CONFLICT WITH PROPOSED DEVELOPMENT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO RESOLVE WITH THE UTILITY. EXISTING POLE LINES REQUIRED TO BE RELOCATED SHALL BE RELOCATED TO WITHIN ONE FOOT OF PROPOSED RIGHT-OF-WAY LINE.
 15. DAMAGE TO THE EXISTING RIGHT-OF-WAY SHALL BE RESTORED/REPAIRED TO THE SATISFACTION OF THE CITY AT THE COMPLETION OF THE PROJECT. THE CONTRACTOR IS ENCOURAGED TO INSPECT THE RIGHT-OF-WAY WITH THE CITY PRIOR TO THE START OF CONSTRUCTION TO DOCUMENT THE EXISTING CONDITION OF THE RIGHT-OF-WAY.
 16. ALL PAVING WITHIN THE EXISTING AND PROPOSED CITY RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF ENGINEERING. THE CONTRACTOR SHALL CONTACT THE DEPARTMENT OF ENGINEERING TO SCHEDULE A PRE-CONSTRUCTION MEETING TO REVIEW THE DEPARTMENT'S CONSTRUCTION REQUIREMENTS, STAFF NOTIFICATION REQUIREMENTS, REQUIRED INSPECTIONS FOR CERTAIN STAGES OF THE WORK AND TO REVIEW THE AUTHORITY OF THE DEPARTMENT AS IT RELATES TO WORK WITHIN THE EXISTING AND PROPOSED CITY ROW.
 17. ANY INTERFERENCE TO EXISTING BMD GRADING AND/OR VEGETATION SHALL BE RESTORED PER DETAILS AND SPECIFICATIONS SHOWN ON V3 DESIGN DEVELOPMENT DOCUMENTS.
 18. ALL STORM SEWERS ARE PUBLIC.

PIPE TABLE

STRUCTURE TABLE

REFERENCE BENCHMARK

BENCHMARK DATA

BENCHMARK NOTE

CONTACTS

LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED CONTOUR
- PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED GRADE ELEVATION
- PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
- PROPOSED CURB w/ 6" UNDERDRAIN
- PROPOSED 6" SUB-SURFACE DRAIN

AS-BUILT PLANS

ADDED PER CITY OF CARMEL COMMENTS

REVISIONS

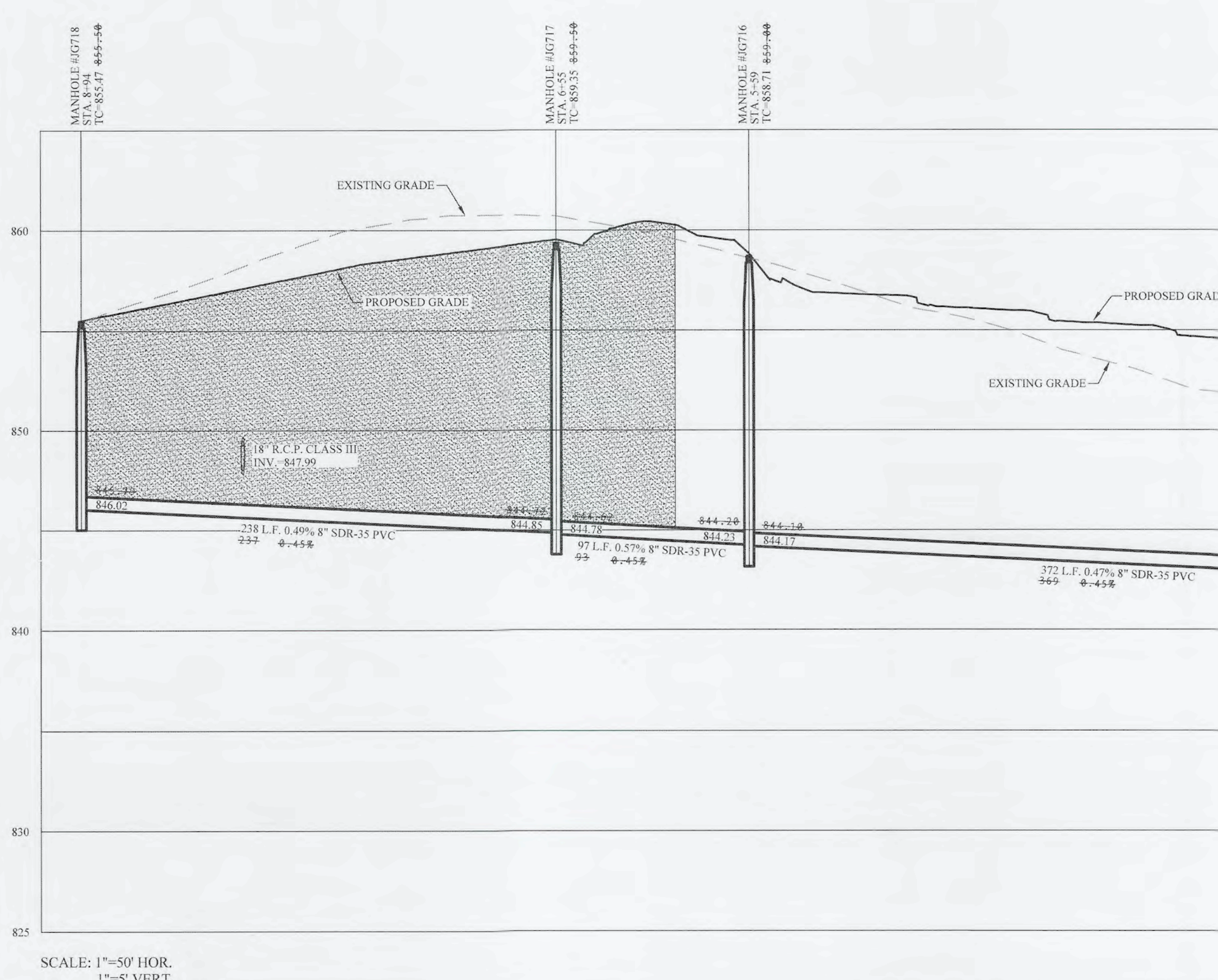
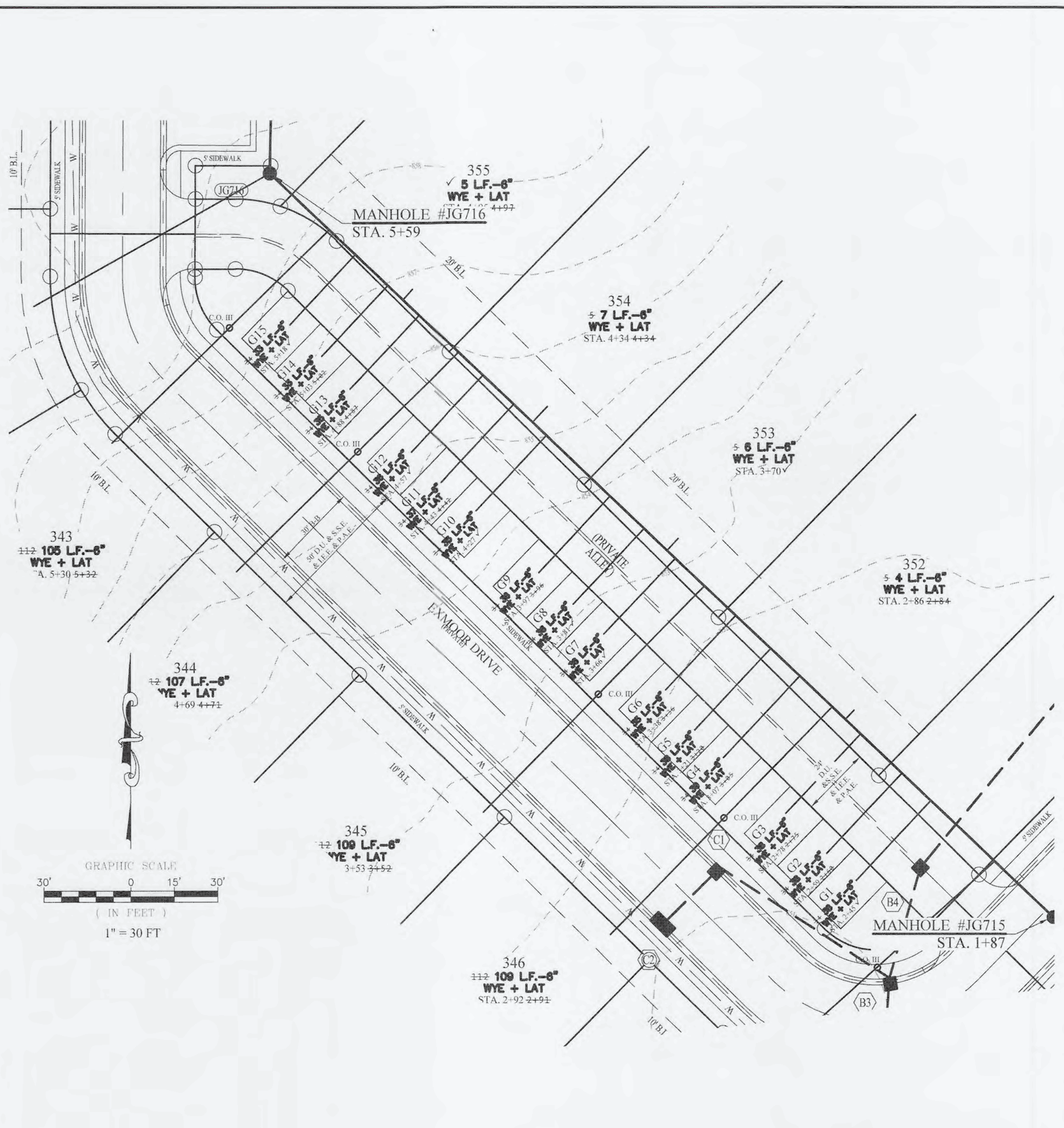
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2	10/21/21	REVISED PER CITY OF CARMEL COMMENTS
3	10/20/21	REVISED PER CITY OF CARMEL COMMENTS
4	09/29/21	REVISED PER CITY OF CARMEL COMMENTS
5	07/28/21	REVISED PER CITY OF CARMEL COMMENTS
6	10/07/20	REVISED PER CITY OF CARMEL COMMENTS
7	08/17/21	REVISED PER CITY OF CARMEL COMMENTS

STOEPPELWERTH
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 David J. Stoepelwerth
 CERTIFIED: 09/16/20
 7905 East 106th Street, Fishers, IN 46038-2505
 phone: 317.849.5935 fax: 317.849.5942

SITE DEVELOPMENT PLAN
JACKSON'S GRANT ON WILLIAMS CREEK
SECTION 8
 HAMILTON COUNTY, INDIANA
 CARMEL, CLAY TOWNSHIP

SECTION 8
 SHEET NO. **C200**
 S & A JOB NO. **60160REP-S8**

DRAWN BY: KJM **CHECKED BY: BKR**



NOTES

NO EARTH DISTURBING ACTIVITIES MAY TAKE PLACE WITHOUT AN APPROVED STORM WATER MANAGEMENT PERMIT.

MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.

THE EXTERIORS OF ALL MANHOLES NEED TO BE COATED PER CLAY TOWNSHIP REGIONAL WASTE STANDARDS.

THERE ARE TO BE NO WATER VALVES OR MANHOLES WITHIN THE PAVEMENT, CURB, OR SIDEWALK WITH THE EXCEPTION OF CURB INLETS.

INSTALL A TRACER WIRE WITH ALL SERVICE CONNECTIONS.

FOR INSTALLATION OF STORM MAINS, WATER MAINS, SANITARY MAINS, WATER SERVICE LATERALS, SANITARY SERVICE LATERALS UNDER CITY STREETS, REGARDLESS OF THE JURISDICTION OF THE UTILITY, THE MINIMUM COVER FROM THE TOP OF THE INSTALLED PAVEMENT TO THE TOP OF THE INSTALLED PIPE SHALL BE THE PAVEMENT SECTION THICKNESS (ALL BITUMEN'S AND AGGREGATE MATERIAL ABOVE THE SUBGRADE) PLUS 1'-0", BUT UNDER NO CIRCUMSTANCES SHALL THE COVER ALONG ANY PART OF THE PIPE BE LESS THAN 3.0 FEET.

REFER TO THIS SHEET FOR SANITARY TRENCH DETAIL WITHIN CITY RIGHT-OF-WAY.

CONNECTIONS TO EXISTING SANITARY SEWER SHALL BE PROPERLY SEALED, CORE-DRILLED INSTALLATIONS.

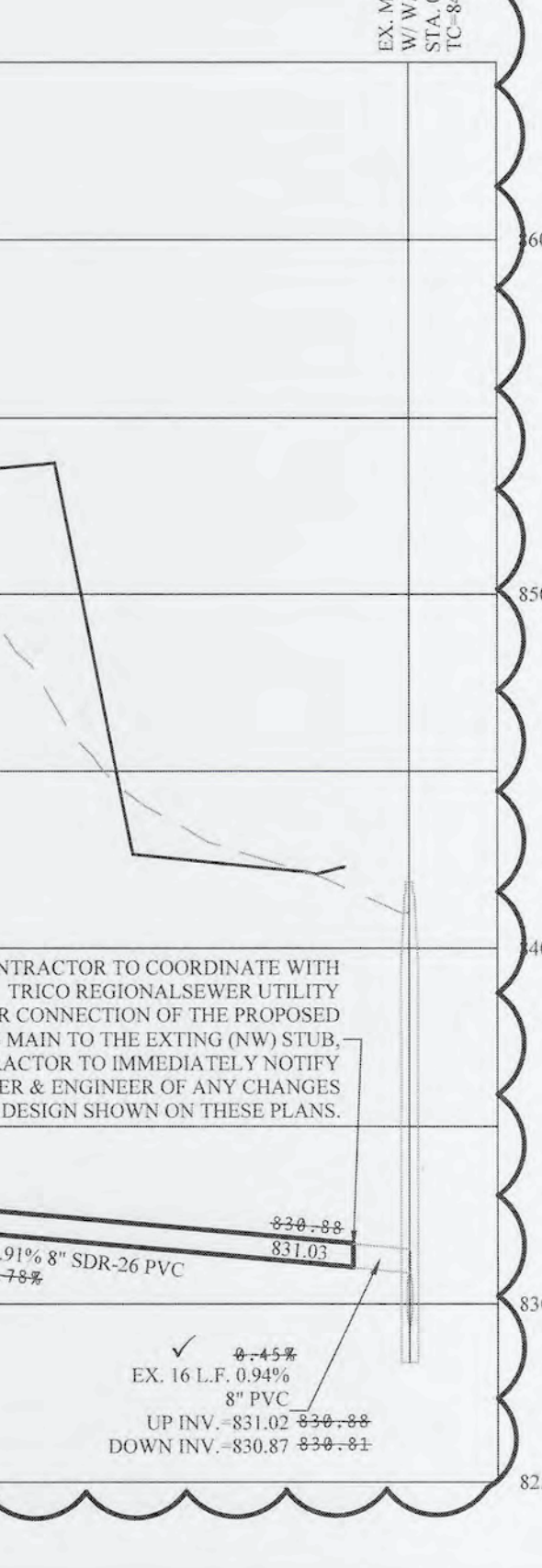
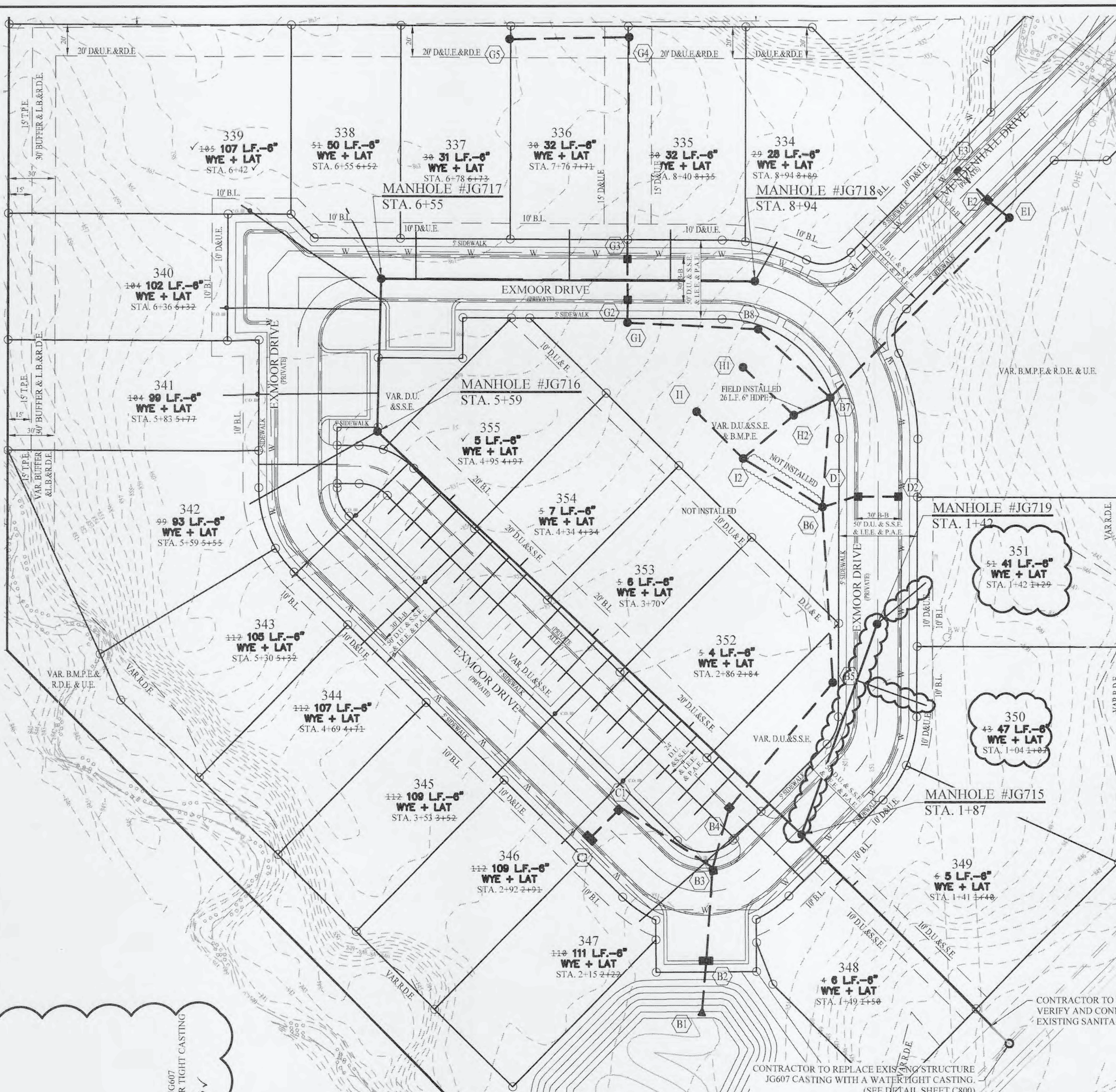
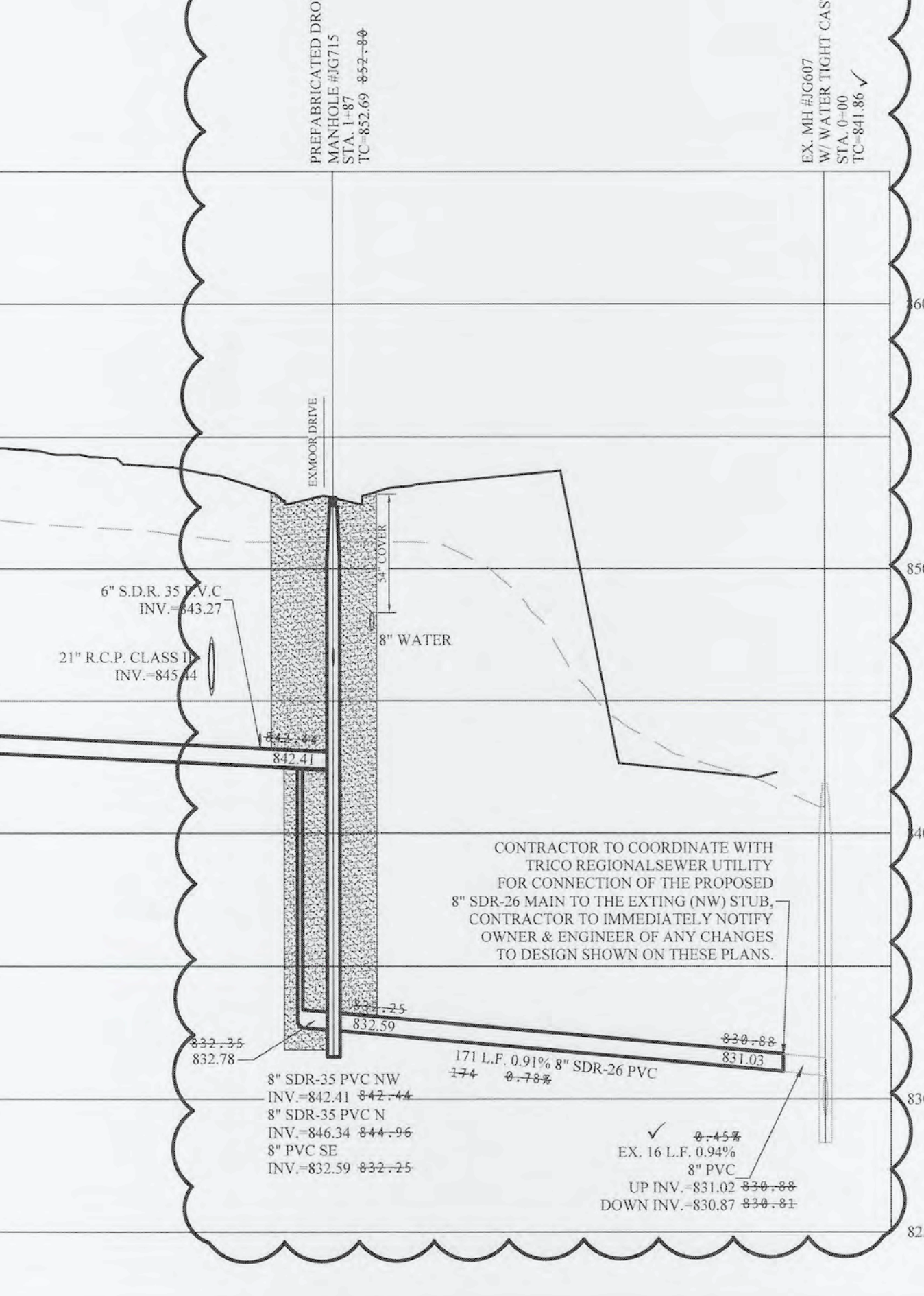
ALL FINAL STRUCTURE GRADES ARE TO BE WITHIN PLUS OR MINUS ONE TENTH (0.1') OF A FOOT OF DESIGN GRADE, AND ARE TO BE ESTABLISHED UTILIZING 1'-4" RISER RING, NO MORE NO LESS, ON EACH STRUCTURE.

LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- DENOTES FULL DEPTH GRANULAR BACKFILL
- APPROXIMATE LIMITS OF FLOODWAY, AS SCALED FROM FIRM MAP, PANEL NOS.: 180570206G / 208G DATED: NOVEMBER 19, 2014
- APPROXIMATE LIMITS OF FLOODWAY FRINGE, AS SCALED FROM FIRM MAP, PANEL NOS.: 180570206G / 208G DATED: NOVEMBER 19, 2014

UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.



RECORD DRAWING



Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012

DATE	REVISIONS	BY
12/13/22	AS-BUILTS	JDR
06/21/22	REVISED SANITARY SEWER	BHM
06/13/22	MOVED SANITARY MANHOLE #JG719	BHM
06/05/22	REVISED PER TRICO COMMENTS	BHM
04/01/22	REVISE LATERAL AND DRIVE LOCATION	BHM
02/17/22	REVISED L.A.T. LENGTHS PER CLIENT COMMENT	BHM
01/09/22	MOVED C.O.S. (0.65-50) TO THE N.E. SIDE OF THE STREET	AUC
10/21/21	ADDED GRANULAR BACKFILL	AUC
09/21/21	REVISED PER CITY OF CARMEL COMMENTS	AUC
09/09/21	REVISED PER TRICO COMMENTS	AUC
10/07/20	REVISED PER TRICO COMMENTS	AUC
08/17/21	REVISED PER TAC COMMENTS	JDT
		JDT

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 09/16/20
 David J. Stappeworth
 REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA

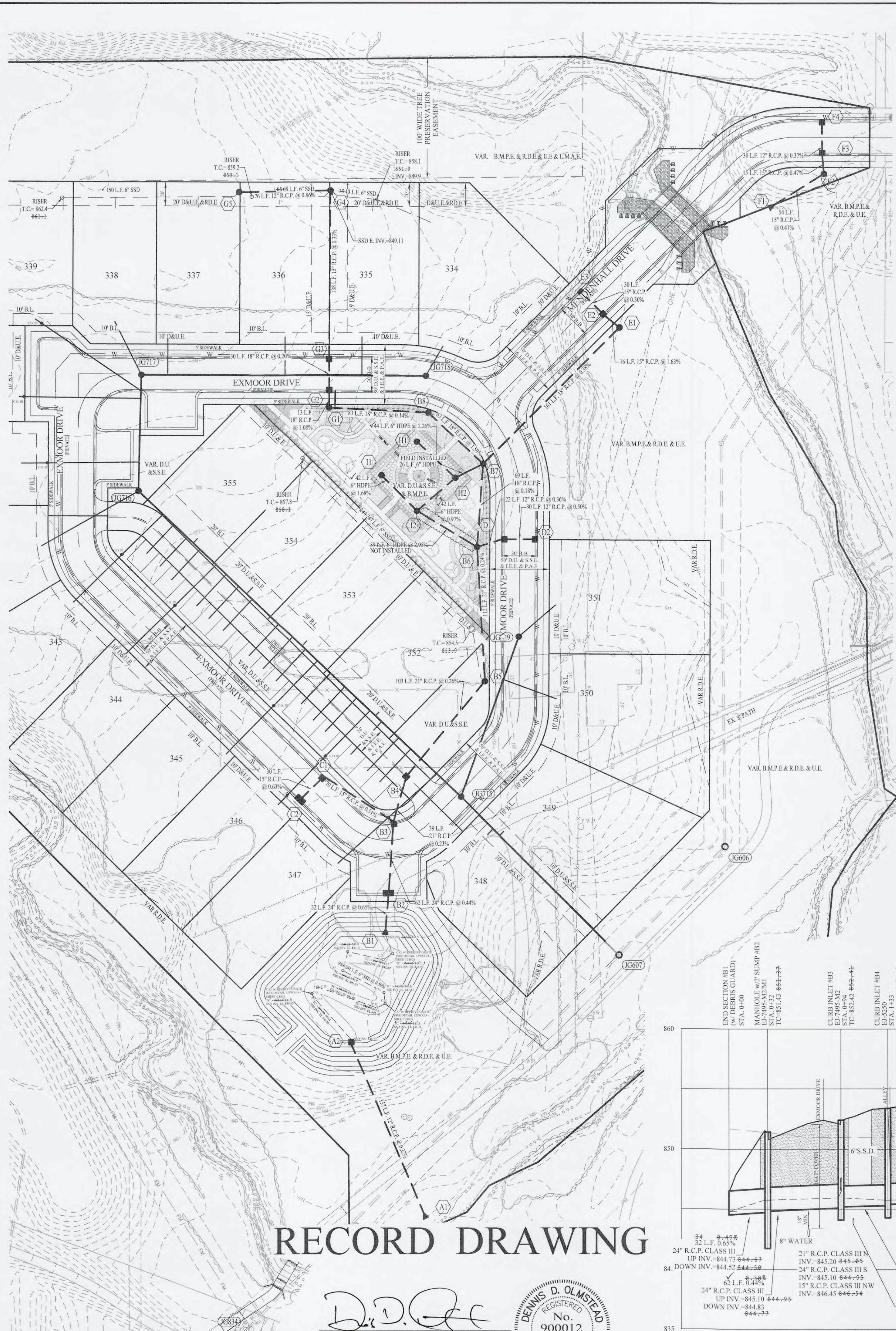
STOEPPELWERTH
 ALWAYS ON
 7965 East 10th Street, Fishers, IN 46038-2505
 phone: 317.849.5955 fax: 317.849.5942

SANITARY SEWER PLAN & PROFILE
 JACKSON'S GRANT ON WILLIAMS CREEK
 SECTION 8
 CARMEL, CLAY TOWNSHIP
 HAMILTON COUNTY, INDIANA

DRAWN BY: KJM
 CHECKED BY: BKR

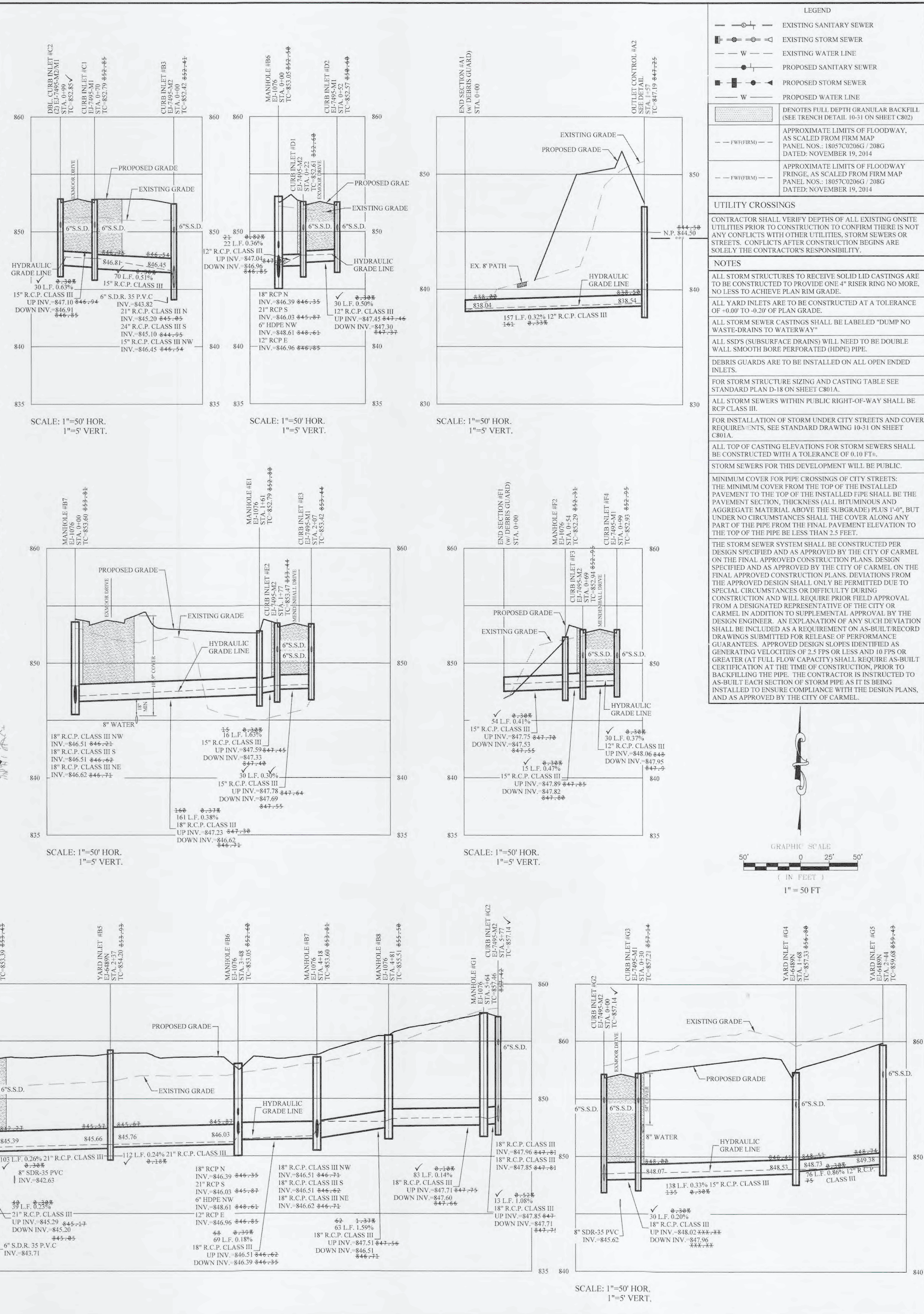
SHEET NO. **C500**
 S & A JOB NO. 60160REP-S8

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 Plotted / By: December 16, 2022 8:36:33 AM / Michael Evans



RECORD DRAWING

D.D.O.
 Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012
 1/17/2023



LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- DENOTES FULL DEPTH GRANULAR BACKFILL (SEE TRENCH DETAIL 10-51 ON SHEET C802)
- APPROXIMATE LIMITS OF FLOODWAY, AS SCALED FROM FIRM MAP PANEL NOS. 18057C0206G / 208G DATED NOVEMBER 19, 2014
- APPROXIMATE LIMITS OF FLOODWAY FRINGE, AS SCALED FROM FIRM MAP PANEL NOS. 18057C0206G / 208G DATED NOVEMBER 19, 2014

UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

NOTES

ALL STORM STRUCTURES TO RECEIVE SOLID LID CASTINGS ARE TO BE CONSTRUCTED TO PROVIDE ONE-4" RISER RING NO MORE, NO LESS TO ACHIEVE PLAN RIM GRADE.

ALL YARD INLETS ARE TO BE CONSTRUCTED AT A TOLERANCE OF +0.09 TO -0.20 OF PLAN GRADE.

ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE-DRAINS TO WATERWAY"

ALL SSDS (SUBSURFACE DRAINS) WILL NEED TO BE DOUBLE WALL SMOOTH BORE PERFORATED (HDPE) PIPE.

DEBRIS GUARDS ARE TO BE INSTALLED ON ALL OPEN ENDED INLETS.

FOR STORM STRUCTURE SIZING AND CASTING TABLE SEE STANDARD PLAN D-18 ON SHEET C801A.

ALL STORM SEWERS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE RCP CLASS III.

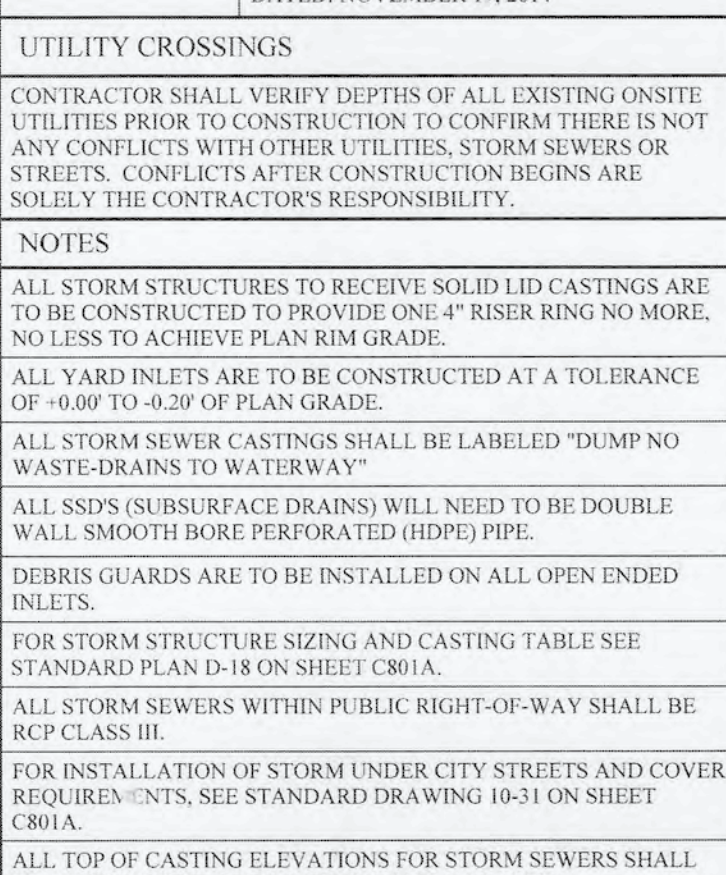
FOR INSTALLATION OF STORM UNDER CITY STREETS AND COVER REQUIREMENTS, SEE STANDARD DRAWING 10-51 ON SHEET C801A.

ALL TOP OF CASTING ELEVATIONS FOR STORM SEWERS SHALL BE CONSTRUCTED WITH A TOLERANCE OF 0.10 FT.

STORM SEWERS FOR THIS DEVELOPMENT WILL BE PUBLIC.

MINIMUM COVER FOR PIPE CROSSINGS OF CITY STREETS: THE MINIMUM COVER FROM THE TOP OF THE INSTALLED PAVEMENT TO THE TOP OF THE INSTALLED PIPE SHALL BE THE PAVEMENT SECTION, THICKNESS (ALL BITUMINOUS AND AGGREGATE MATERIAL ABOVE THE SUBGRADE) PLUS 1'-0", BUT UNDER NO CIRCUMSTANCES SHALL THE COVER ALONG ANY PART OF THE PIPE FROM THE FINAL PAVEMENT ELEVATION TO THE TOP OF THE PIPE BE LESS THAN 2.5 FEET.

THE STORM SEWER SYSTEM SHALL BE CONSTRUCTED PER DESIGN SPECIFIED AND AS APPROVED BY THE CITY OF CARMEL ON THE FINAL APPROVED CONSTRUCTION PLANS. DEVIATIONS FROM THE APPROVED DESIGN SHALL ONLY BE PERMITTED DUE TO SPECIAL CIRCUMSTANCES OR DIFFICULTY DURING CONSTRUCTION AND WILL REQUIRE PRIOR FIELD APPROVAL FROM A DESIGNATED REPRESENTATIVE OF THE CITY OF CARMEL IN ADDITION TO SUPERVISORIAL APPROVAL BY THE DESIGN ENGINEER. AN EXPLANATION OF ANY SUCH DEVIATION SHALL BE INCLUDED AS A REQUIREMENT ON AS-BUILT RECORD DRAWINGS SUBMITTED FOR RELEASE OF PERFORMANCE GUARANTEES. APPROVED DESIGN SLOPES IDENTIFIED AS GENERATING VELOCITIES OF 2.5 FPS OR LESS AND 10 FPS OR GREATER (AT FULL FLOW CAPACITY) SHALL REQUIRE AS-BUILT CERTIFICATION AT THE TIME OF CONSTRUCTION, PRIOR TO BACKFILLING THE PIPE. THE CONTRACTOR IS INSTRUCTED TO AS-BUILT EACH SECTION OF STORM PIPE AS IT IS BEING INSTALLED TO ENSURE COMPLIANCE WITH THE DESIGN PLANS, AND AS APPROVED BY THE CITY OF CARMEL.



STOEPPELWERTH
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STORM SEWER PLAN & PROFILES
JACKSON'S GRANT ON WILLIAMS CREEK
SECTION 8
 CARMEL, CLAY TOWNSHIP
 HAMILTON COUNTY, INDIANA

DATE	REVISIONS	BY
12/02/22	AS BUILTS	MJE
08/12/21	REVISED PER TAC COMMENTS	AJC
	REVISED PER TAC COMMENTS	JDT
		BY

REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 David J. Stoepelwerth

CERTIFIED: 09/16/20
 David J. Stoepelwerth

DRAWN BY: KJM
 CHECKED BY: BKR
 SHEET NO: C600
 S.A.JOB NO: 60160REP-S8

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 Plotted By: Michael Evans

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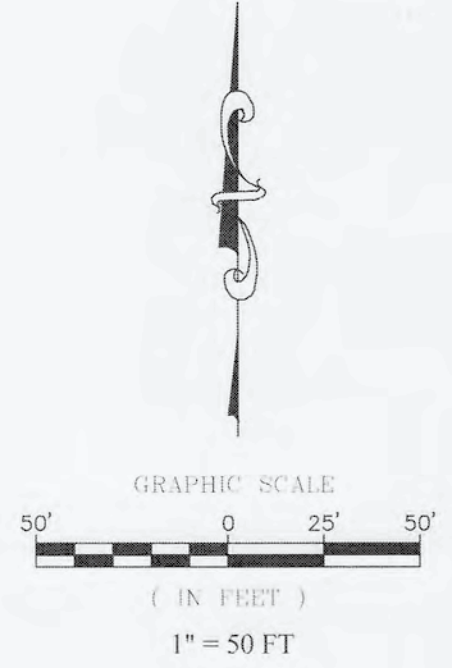


LEGEND

	EXISTING STORM SEWER
	EXISTING SWALE
	EXISTING SUB-SURFACE DRAIN
	PROPOSED STORM SEWER
	PROPOSED SWALE
	PROPOSED CURB w/ 6" UNDERDRAIN
	PROPOSED SUB-SURFACE DRAIN
	CONSTRUCTION LIMITS

UTILITY CROSSINGS
 CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

NOTES
 ALL STORM STRUCTURES TO RECEIVE SOLID LID CASTINGS ARE TO BE CONSTRUCTED TO PROVIDE ONE 4" RISER RING NO MORE, NO LESS TO ACHIEVE PLAN RIM GRADE.
 ALL YARD INLETS ARE TO BE CONSTRUCTED AT A TOLERANCE OF +0.00 TO -0.20' OF PLAN GRADE.
 ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE-DRAINS TO WATERWAY"
 ALL SSDS (SUBSURFACE DRAINS) WILL NEED TO BE DOUBLE WALL SMOOTH BORE PERFORATED (HDPE) PIPE.
 DEBRIS GUARDS ARE TO BE INSTALLED ON ALL OPEN ENDED INLETS.
 FOR STORM STRUCTURE SIZING AND CASTING TABLE SEE DETAIL D-18 ON SHEET C80X.
 ALL STORM SEWERS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE RCP CLASS III.
 FOR INSTALLATION OF STORM UNDER CITY STREETS AND COVER REQUIREMENTS, SEE SHEET C80X ON THE TRENCH DETAIL.
 ALL TOP OF CASTING ELEVATIONS FOR STORM SEWERS SHALL BE CONSTRUCTED WITH A TOLERANCE OF 0.10 FT.
 THE CITY OF CARMEL WILL NOT MAINTAIN CURBSIDE SSDS OR STORM SEWER IN PRIVATE ALLEYS.
 SEE DESIGN DEVELOPMENT DOCUMENTS FOR SSD CONFIGURATIONS WITHIN BMPs.



RECORD DRAWING



D.D. Olmstead
 Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012
 11/17/2023

DATE	MARK	REVISIONS
12/09/22	AS BUILTS	
02/20/21	REV. SSD LOCATION FOR LOTS 344 & 345 PER CLIENT REQUEST	
02/21/21	REVISED PER CITY OF CARMEL COMMENTS	
09/22/21	REVISED PER CLIENT COMMENTS	
08/17/21	REVISED PER TAC COMMENTS	

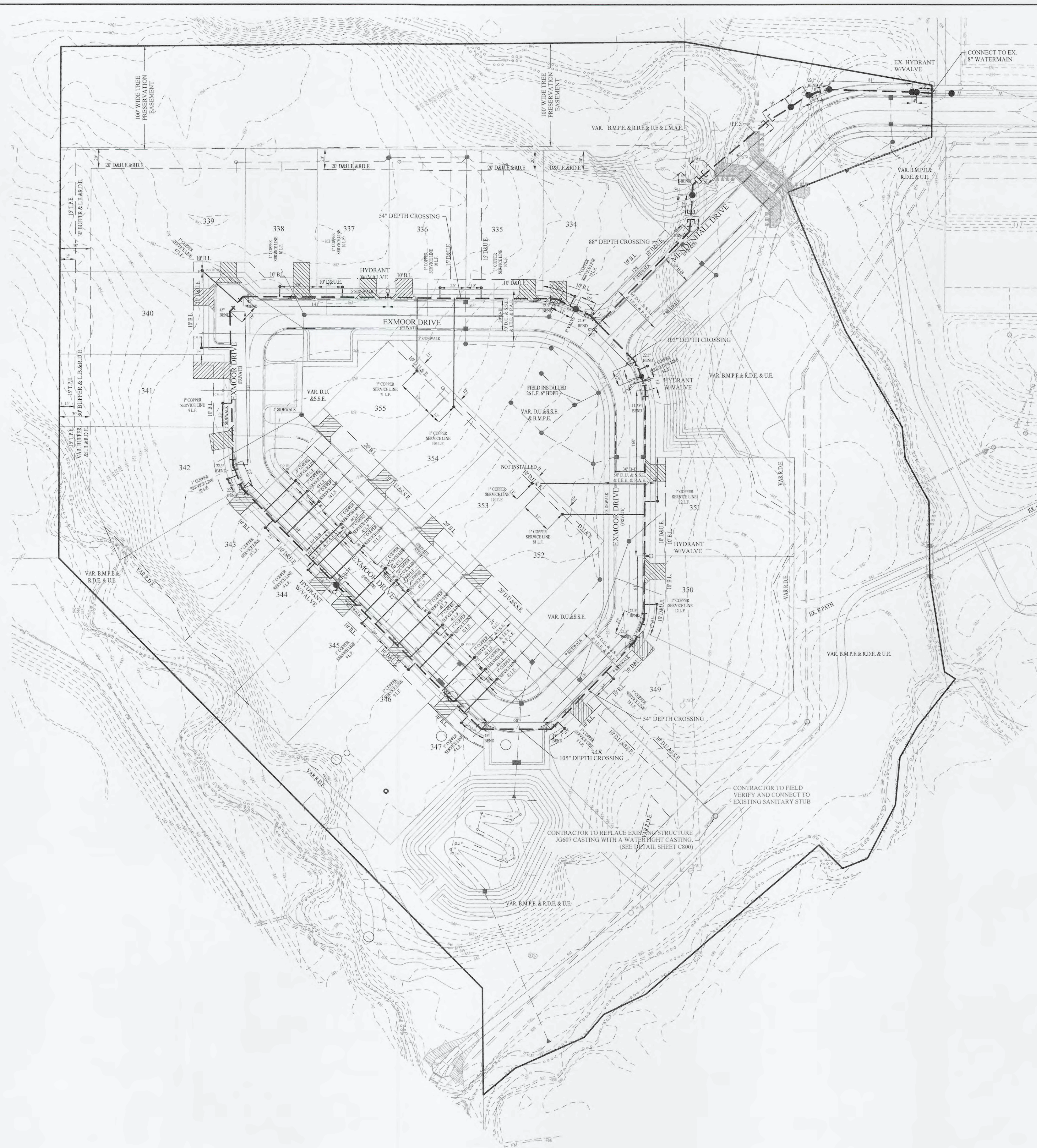
THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A REFRACTORY OR ORIGINAL BOUNDARY SURVEY. A ROUTE REPORT BY OR A SURVEYOR LOCATION REPORT:
 CERTIFIED: 09/16/20
David J. Stoppelwirth
 David J. Stoppelwirth
 Registered Professional Engineer
 No. 19358
 STATE OF INDIANA

STOEPPELWERTH
 ALWAYS ON
 7965 East 10th Street, Fishers, IN 46038-2935
 phone: 317.849.5955 fax: 317.849.5942

JACKSON'S GRANT ON WILLIAMS CREEK SECTION 8
 SUB-SURFACE DRAIN PLAN
 CARMEL, CLAY TOWNSHIP, HAMILTON COUNTY, INDIANA

DRAWN BY: KJIM
 CHECKED BY: BKR
 SHEET NO: **C601**
 S & A JOB NO: 60160REP-S8

File Name: S:\0160REP-S8\DWG\C700 Water Plan.dwg - C700
 Modified / By: January 17, 2023 8:19:58 AM / rmevans
 Plotted / By: January 17, 2023 9:23:29 AM / Michael Evans



LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- HYDRANT w/ 6" VALVE
- GATE VALVE
- TIE
- BEND, HORIZONTAL
- CONSTRUCTION LIMITS

UTILITY CROSSINGS

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

NOTES

NO EARTH DISTURBING ACTIVITIES MAY TAKE PLACE WITHOUT AN APPROVED STORM WATER MANAGEMENT PERMIT.

FOR INSTALLATION OF SANITARY AND WATER UNDER CITY STREETS AND COVER REQUIREMENTS, SEE THE TRENCH DETAIL ON SHEET C800.

ALL WATER MAIN SERVICE LINES TO TERMINATE 5 FEET BEHIND SIDEWALK AND MARKED WITH A 4" PVC PIPE WITH A PAINTED BLUE TOP.

POSI-CAPS OR EQUIVALENT ARE REQUIRED ON ALL WATER VALVE INSTALLATIONS AND MEGA LUGS MUST BE INSTALLED AT ALL MECHANICAL JOINTS.

ALL DUCTILE IRON WATER MAINS SHALL BE BEDDED IN SAND FROM THE BOTTOM OF THE TRENCH TO 12" ABOVE THE PIPE.

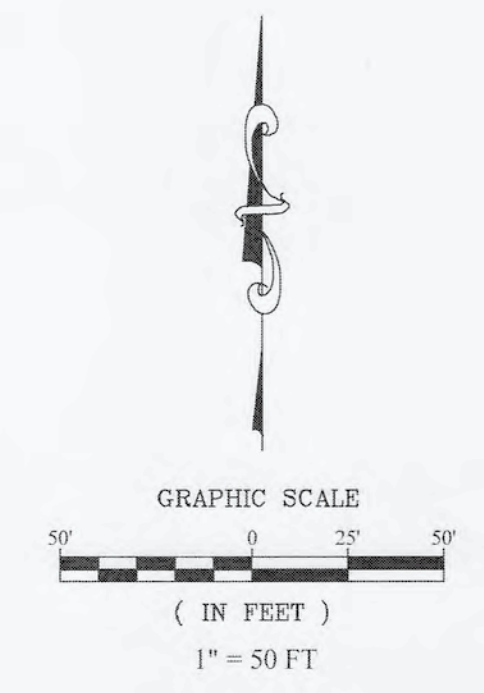
INSTALL WATER MAIN TRACER WIRE WITH ALL WATER MAINS LAID AND BLUE REFLECTOR TAPE MUST BE INSTALLED 12" TO 18" ABOVE ALL WATER MAINS LAID.

ALL WATER MAINS SHALL BE DUCTILE IRON AND INSTALLED PER THE CITY OF CARMEL SPECIFICATIONS.

FULL DEPTH GRANULAR BACKFILL PER CITY STANDARDS SHALL BE PLACED FOR ALL STREET CROSSINGS.

FIRE HYDRANT MARKERS TO BE INSTALLED IN THE STREET PAVEMENT PERPENDICULAR TO THE FIRE HYDRANT.

ONLY MUELLER HYDRANTS AND VALVES MAY BE USED.



THIS DRAWING IS NOT INTENDED TO BE USED FOR ANY OTHER PURPOSES THAN THAT SPECIFICALLY STATED HEREIN. IT IS THE RESPONSIBILITY OF THE USER TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED.

REGISTERED PROFESSIONAL ENGINEER
 No. 19358
 STATE OF INDIANA
 David J. Stoepelwerth

CERTIFIED: 09/16/20
 David J. Stoepelwerth

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WATER PLAN
JACKSON'S GRANT ON WILLIAMS CREEK
SECTION 8
 CARMEL, CLAY TOWNSHIP HAMILTON COUNTY, INDIANA

DRAWN BY: KJMM CHECKED BY: BKR
 SHEET NO: C700
 S & A JOB NO: 60160REP-S8

RECORD DRAWING

This is to certify the Record Drawing of the water system for Jackson's Grant, Section 8 was prepared according to the actual locations of the valves, hydrants and other surface evidence collected by Stoepelwerth and Associates. All other underground water system features were located by field notes provided by the contractor.

DENNIS D. OLMSTEAD
 Professional Land Surveyor
 No. 900012
 11/17/2023

DENNIS D. OLMSTEAD
 REGISTERED
 No. 900012
 STATE OF INDIANA
 LAND SURVEYOR